

Design guidelines

Coda Urban Living Precinct



Banksia Grove,
WA Masterplanned
Community

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Signature

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Introduction & Vision

Coda 2 at Banksia Grove Design guidelines

Coda 2 at Banksia Grove is located next to the proposed Town Centre. This new area is carefully planned to create:

- *An attractive neighbourhood with 39 residential lots of different sizes and a variety of house types.*
- *A new landscaped park to relax in, have a kick-about or picnic with the neighbours.*
- *Consistent fence design in public areas.*
- *A walkable network of leafy tree-lined streets.*

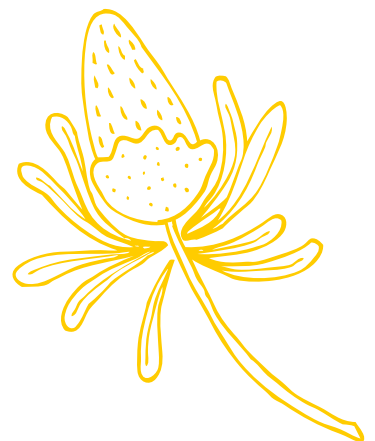
Inspiration for these Design Guidelines comes from the informal village lifestyle that exists at Banksia Grove; a palette of urban colours and a mix of materials, and best practice urban design principles that will help to create a safe, attractive and liveable place for the community.

The vision for the dwellings and their site planning is to reflect:

- *A cohesive neighbourhood by providing at least one substantial architectural feature, such as a projecting porch, wide veranda, balcony or bay window; a touch of red, brown or charcoal brick and one other complementary material.*
- *Reduce the impact of garages and services such as clothes lines, gas/electricity meters and air conditioner units which shall be located to be visually unobtrusive.*
- *Recommendations to encourage an energy efficient house on the lot with good site planning and in-built flexibility for the house design – these recommendations would allow opportunities for a climate responsive house and one that can be more easily adapted to change over time.*

The images overleaf help to define the character for Coda 2 at Banksia Grove.

The images show examples of contemporary one and two-storey house designs and identify ways to incorporate the required red, brown or charcoal coloured brick and other complementary materials.



1. General

This section provides information on the intent of the Design Guidelines, a set of design objectives, and the Applicant's process for Developer Approval.

1.1 Area covered by the Design Guidelines

These Design Guidelines apply to all new homes at Coda 2, Banksia Grove and aim to ensure a high quality architectural character and streetscape.

An Applicant shall submit their design proposal for consideration for Developer Approval before an application to Council for statutory approval.

1.2 Design objectives

The Design Guidelines for Coda 2, Banksia Grove aim to seamlessly integrate individual house and landscape design with the public spaces such as streets and parkland. The design objectives are:

- *A contemporary design for single or two-storey homes, with a mix of architectural features, brick and other complementary colour and materials to front and any side elevations that are visible from the streets or park.*
- *Encourage passive surveillance of public spaces such as parks, public access ways and streets particularly through the orientation of habitable rooms and openings to allow opportunities for casual overlooking for public surveillance.*
- *Incorporate sustainability initiatives to assist in reduced costs for electricity and water use; planning for possible future changes in the house layout for ageing in place; designing for cross-ventilation and correct orientation to take advantage of winter sun.*

1.3 Development control context

These Design Guidelines form part of the Contract of Sale and are administered by the Developer's Design Assessor. The Design Guidelines complement and shall be read in conjunction with all other relevant statutory planning and building construction requirements.

The Applicant shall meet the mandatory requirements of these Design Guidelines and consider incorporating the recommendations on sustainability initiatives (refer Appendix A – Checklist of Design Guidelines mandatory requirements).

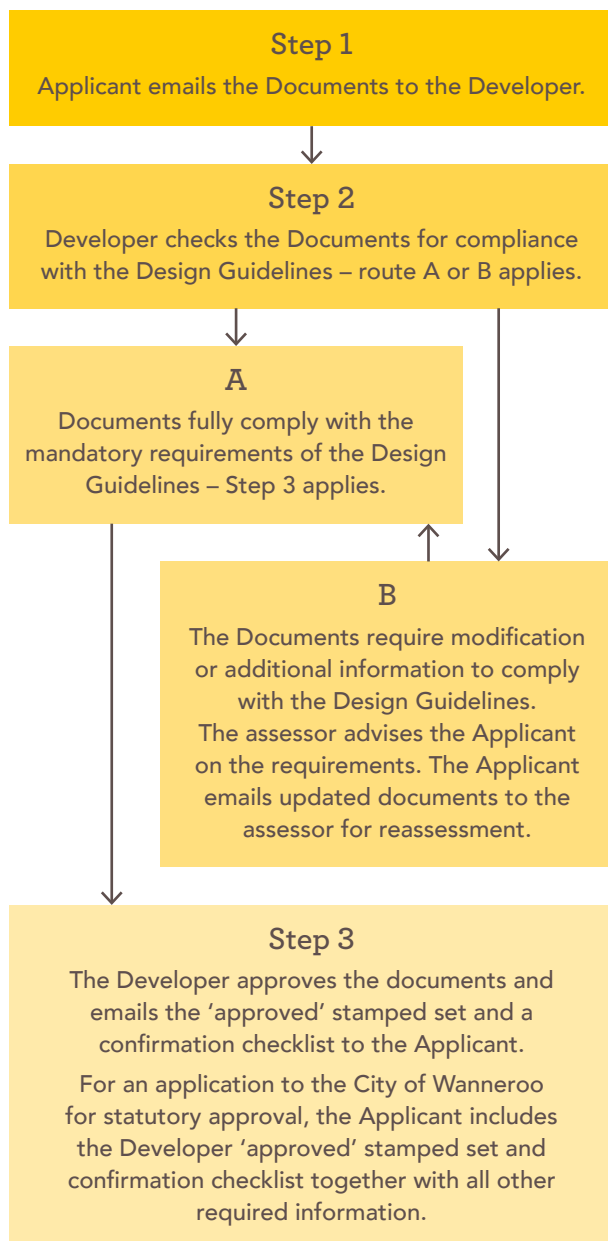
The Developer may consider an application that varies from the specific requirements of the Design Guidelines if, in its opinion, the design has architectural merit; supports the objectives for the development (as noted in section 1.2 above); and written justification is provided. Approval of a variation shall not, however, set a precedence.



1. General

1.4 Developer's approval process

The below flow chart indicates the steps the Applicant follows to ensure the dwelling design is initially compliant with the mandatory requirements of the Banksia Grove Design Guidelines and achieves 'Developer Approval' process prior to any application to Council for statutory approval:



IMPORTANT NOTE:

The Developer's Approval of a building design shall **not** imply or guarantee a statutory approval by the City of Wanneroo.

Any improvements to a Lot that are not in accordance with the approved design shall be removed upon notification or rectified at the expense of the Lot owner.

1.5 Application documents

The Applicant shall obtain Design Approval from LWP. The process to obtain Design Approval is as follows.

- Ensure when designing your home you refer to the requirements outlined in this document, contract of sale, individual lot plan and Local Development Plan (LDP).
- Upon completion of your design, submit in PDF format to the LWP Online Approval Portal, BuildPro at www.lwpbuildpro.com.au
- Include one A3 set of plans including floor plan/s, elevations and site plans including setbacks, levels, key dimensions, roof pitches and materials.
- Completed Design Guidelines Checklist and Materials and Colours Declaration.

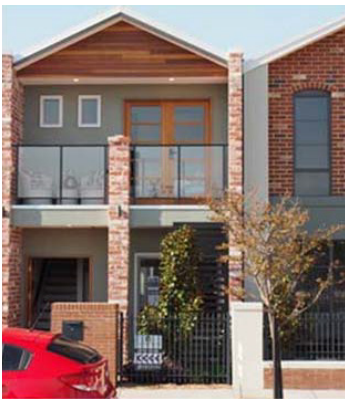


1. General

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Typical architectural character examples

Below are examples of the typical architectural character for houses at Banksia Grove, Stage 7.



2. Design character

This section describes the **mandatory** requirements that will ensure the dwelling reflects the building character desired at Coda 2, Banksia Grove. **These controls shall apply to the publicly visible front elevation and, if the house is on a corner lot with two streets, at least 2m of the side elevation which will sit forward of the fence.**

2.1 Single storey house – minimum eaves height

- The minimum eaves height for single storey homes is 2.4m (28 brick courses) above the finished floor level of the house.

2.2 Double storey house

- Mandatory double storey is applicable for all homes on lots 5008-5017 Joseph Banks Boulevard.
- Unfinished “fastwall” style brick or unfinished fibre cement cladding to side boundary walls is not permitted.

2.3 Materials and colours

A. ROOF

Permitted metal roof colours

- All Colorbond colours, **except** ‘Manor Red’, ‘Cottage Green’, ‘Mangrove’ and ‘Pale Eucalyptus’, and very dark colours of ‘Night Sky’ and ‘Monument’. Refer Appendices **Roof Colorbond Colours Palette**.

Permitted roof tile colours

- All colours, **except** red, orange, blue, green and very dark colours of graphite and black. Refer Appendices **Roof Tiles Colours Palette**.

B. WALLS

- Red, brown or charcoal colour brick shall be incorporated into the publicly visible elevations. Brick may be incorporated into feature walls or a distinctive detail, such as a window sill, arch, corbel, pier, column or blade wall.
- In addition to the above, at least one other different, complementary material shall be incorporated into publicly visible elevations.
- Colours shall generally be selected from a grey, charcoal and natural palette. Very bright primary colours, black, purple, and pink are not permitted. Refer Appendices **Wall Face Brick Colours Palette**.

Materials

- Face brick
- Rendered and painted masonry block
- Limestone
- Weatherboard or timber
- Stone
- Tiles
- Metal cladding
- Painted brickwork

Note: Other materials and colours may be accepted subject to Developer’s approval.

C. GARAGE DOOR

- Garage doors shall match one of the permitted Colorbond colours for the roof (see A. above) or the door shall be in a timber style. Refer Appendices **Garage Door Colours Palette**.



2. Design character

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2.4 Elevation features

At least one substantial architectural feature shall be included within the front elevation in order to ensure articulation and interest is provided:

- The architectural feature may be a veranda, porch, bay window, gable-end wall or a habitable room with a large wall area in a contrast material and colour. A balcony is encouraged for double-storey homes.
- Homes on corner lots shall ensure side elevations are addressed in the same manner as front elevations for a minimum of 2m.

2.5 Roof

Roofs may be flat, skillion or traditionally pitched, and are encouraged to incorporate features such as gable-ends and gablets.

- Traditionally pitched roofs shall be a minimum of 24 degrees.
- Eaves shall be 350mm in depth and continuous where possible.
- Where provided, gable-ends shall overhang by a minimum of 300mm.

2.6 Windows

- The front elevation shall have at least one major opening to a habitable room.
- Homes on corners shall provide openings to both front and side elevations at the ground floor.
- Curved or mirror glass shall not face the public realm.

2.7 Garage (facing the street)

- Garages shall be 0.5m minimum setback from the main wall of the dwelling.
- The garage may be in line with a substantial, open and useable veranda.



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2. Design character

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2.8 Services

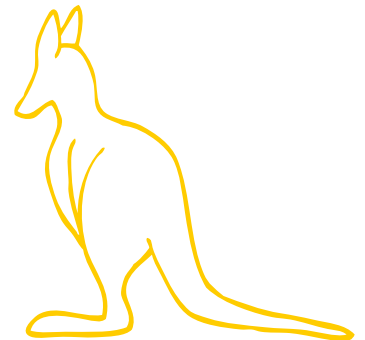
- All services, bin store, clothes drying area, hot water storage tank, gas/electricity meters, air conditioner unit, and other such service items shall be visually unobtrusive or screened from the street, Pedestrian Access Way or park.
- For a lot with a rear lane, the bins shall be located on the lot (and not in the rear lane) for pick up on waste collection day.
- Where a solar hot water system is visible from the street (a rear lane is exempt) or park, a split system (where the tank is separate and located elsewhere) shall be installed, otherwise a combined system (where the tank and panels are together) may be installed.

2.9 Shed

- Sheds must be located so they are not visible from the public. Sheds which are larger than 16sqm must match the materials and colours of the house.

2.10 Fences

Particular fences will be constructed provided by the Developer or specified for installation and construction by the lot owner to ensure a consistent design quality and style.



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3. Recommended sustainability initiatives

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The home owner should consider sustainability for the design of the home and for the garden. Listed below are recommendations only (not mandatory) on ways to help with access of natural heat in winter and air for ventilation; measures to reduce the cost and consumption of energy and water; and flexible house design for changes in lifestyle and ageing in place.

3.1 Solar design

The orientation and design of the garden and internal spaces of the home on the lot should allow access to the natural warming effects of the winter sun and flow of air for ventilation.

- *The living areas of the home and the main outdoor living area should be orientated to the north to maximise access to warming winter sun.*
- *To enable use of the outdoor living area throughout the year, shade and breeze protection measures should be used, such as deciduous trees, screens, awnings, pergolas and shutters.*

3.2 Energy reduction

Minimizing the use of electrical appliances should help to reduce household energy bills.

- *A bathroom or WC should be located on an external wall and include an openable window for natural ventilation.*
- *Windows and doors of the home should be located to promote cross ventilation to passively cool spaces and reduce the reliance on fans or air conditioning.*
- *Select energy efficient appliances (such as the fridge, freezer and washing machine).*
- *A heat pump or roof mounted solar hot water system should be installed (refer section 2.7 Services for advice on the type of solar hot water system and permitted location).*
- *An array of roof mounted photo voltaic cells should be installed; these panels may be visible from the public realm but should be avoided on a roof facing the primary street.*

3.3 Water conservation

Minimizing the use of appliances should help to reduce household water bills.

- *Select waterwise plants and water efficient appliances for the garden, such as timers and irrigation systems.*
- *Select water efficient appliances for the house, such as shower heads, taps, toilets, dish washer and washing machine.*

3.4 Adaptable house plan

An adaptable floor plan should allow for changes in lifestyle and ageing in place.

- *Include a level entry accessible from the street.*
- *Enable a wheelchair user to use a living area, doors and circulation spaces, and at least one ground floor bedroom and bathroom.*
- *Install fixtures and fittings (such as light switches and power outlets) within reach of a wheelchair user.*



Mandatory design guidelines checklist

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See the relevant section in the Design Guidelines for a full explanation of the mandatory requirements.

		Complies yes / no
2.1 Single storey house – minimum eaves height	Minimum eaves height for single storey homes is 2.4m (28 brick courses) above the finished floor level of the house.	
2.2 Double storey house	Mandatory double storey is applicable for all homes on lots 5008-5017 Joseph Banks Boulevard.	
	Unfinished “fastwall” style brick or unfinished fibre cement cladding to side boundary walls is not permitted.	
2.3 Materials and colours	For the walls, roof and garage door - check that the Materials and Colours comply with the Design Guidelines palette.	
	Red, brown or charcoal colour brick shall be incorporated into the publicly visible elevations. Brick may be incorporated into feature walls or a distinctive detail, such as a window sill, arch, corbel, pier, column or blade wall.	
	In addition to the red, brown or charcoal brick, select at least one other different wall material of a complementary colour.	
2.4 Elevation features	Inclusion of an architectural feature such as a veranda, porch, bay window, gable-end wall or a habitable room with a large wall area in a contrast material and colour.	
	Homes on corner lots shall ensure side elevations are addressed in the same manner as the front elevation for a minimum of 2m.	
2.5 Roof	Traditionally pitched roofs shall be a minimum of 24 degrees.	
	Eaves shall have a minimum width of 350mm.	
	Gable-end overhangs must be a minimum of 300mm.	
2.6 Windows	Primary elevations shall incorporate at least one major opening to a habitable room.	
	Homes on corners must provide at least one major opening to a habitable room forward of the fence line.	
	Curved or mirror glass in openings shall not face the public realm.	
2.7 Garages	A garage shall be 0.5m minimum behind the main wall of the dwelling.	
	The garage may be in line with a substantial, open and useable veranda.	
2.8 Services	Services and utilities shall be screened or visually unobtrusive from public view (a rear lane is exempt).	
	Split solar hot water system only is permitted if it is not visible from public view (a rear lane is exempt).	
2.9 Shed	Sheds must be located so they are not visible from the public. Sheds which are larger than 16sqm must match the materials and colours of the house.	
2.10 Fences	Any fencing proposed by the home owner on the lot boundary or forward of the building line shall not be permitted unless approved by the developer.	

Materials and colours declaration form

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Please provide materials and colour information for all publicly visible elevations and lodge via www.lwpbuildpro.com.au

Lot number and street:

A. Roof (material and colour):

B. Wall (Red or brown brick and at least one other different and complementary material):

C. Garage facing the street (door material and colour):



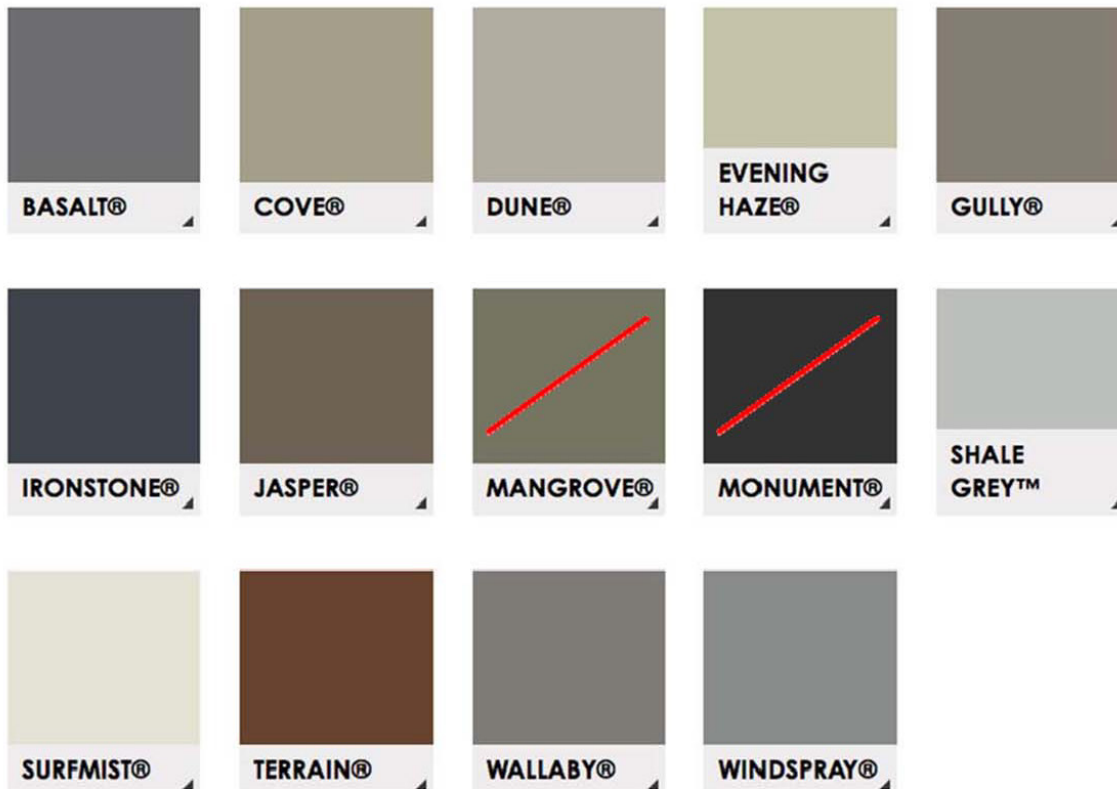
Roof Colorbond colours palette

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Warm, earthy tones are sought to suit the character of the urbane Town Centre at Banksia Grove.

Permitted metal Colorbond colours (*red line indicates a colour is not permitted*).

Contemporary colours



Classic colours



Roof tiles colours palette

Coda 2 at Banksia Grove
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All profiles and colours accepted, except red, orange, blue, green and very dark colours of graphite/black (red line indicates a colour is not permitted).

Examples of permitted Bristle roof tile colours below - alternative tile manufacturers are accepted.



Pepper



Oyster



Portobello



Truffle



Cocoa



Aniseed



Graphite



Moonstone



Glazed Onyx



Glazed Black Granite



Turron



Wallaroo



Roja



Baltic

Examples of permitted BGC Habitat roof tile colours below - alternative tile manufacturers are accepted.



ASTRAL
Villa Profile



DRIFTWOOD
Villa Profile



MONSOON
Alpine Profile



FLINT
Villa Profile



BUNGALOW
Villa Profile



AZTEC
Villa Profile



HIBISCUS
Villa Profile



MOSCATO
Alpine Profile



CHAI
Alpine Profile



BISCOTTI
Alpine Profile



BOAB
Villa Profile



LILY
Villa Profile



JET STONE
Alpine Profile



ROCK SALT
Alpine Profile



TABASCO
Alpine Profile



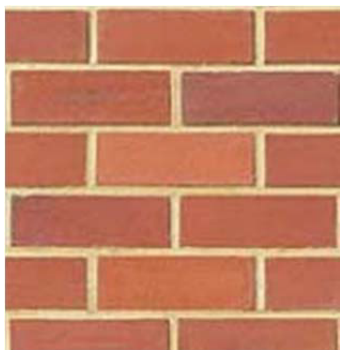
OCEANIC
Villa Profile



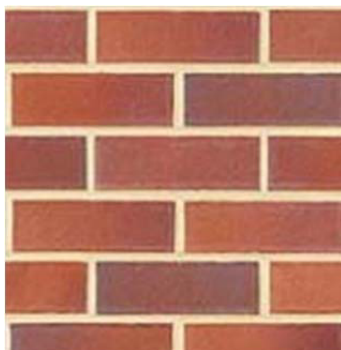
Wall face brick colours palette

Coda 2 at Banksia Grove
Design guidelines

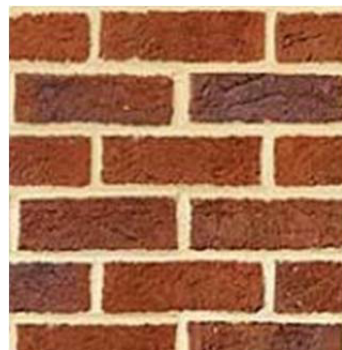
Examples of the type of red or brown colour face brick that is to be included on the front elevation
– alternative brick manufacturers are accepted.



Midland Heritage Red



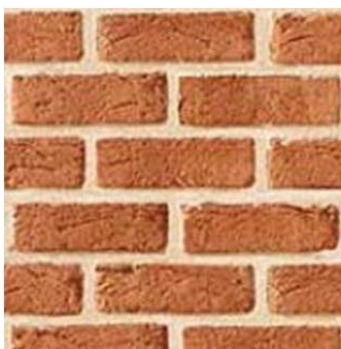
Midland Burnished Red



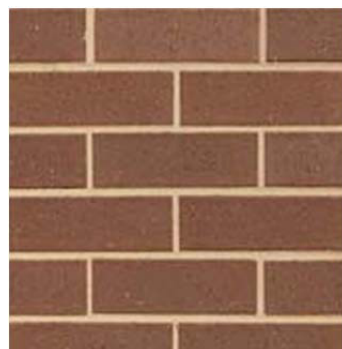
Midland Sandalford



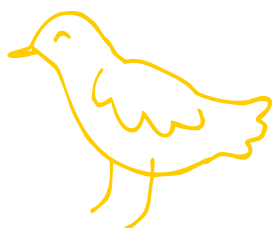
Midland Woodbridge



Midland Helena Vale



Midland Copper Pearl

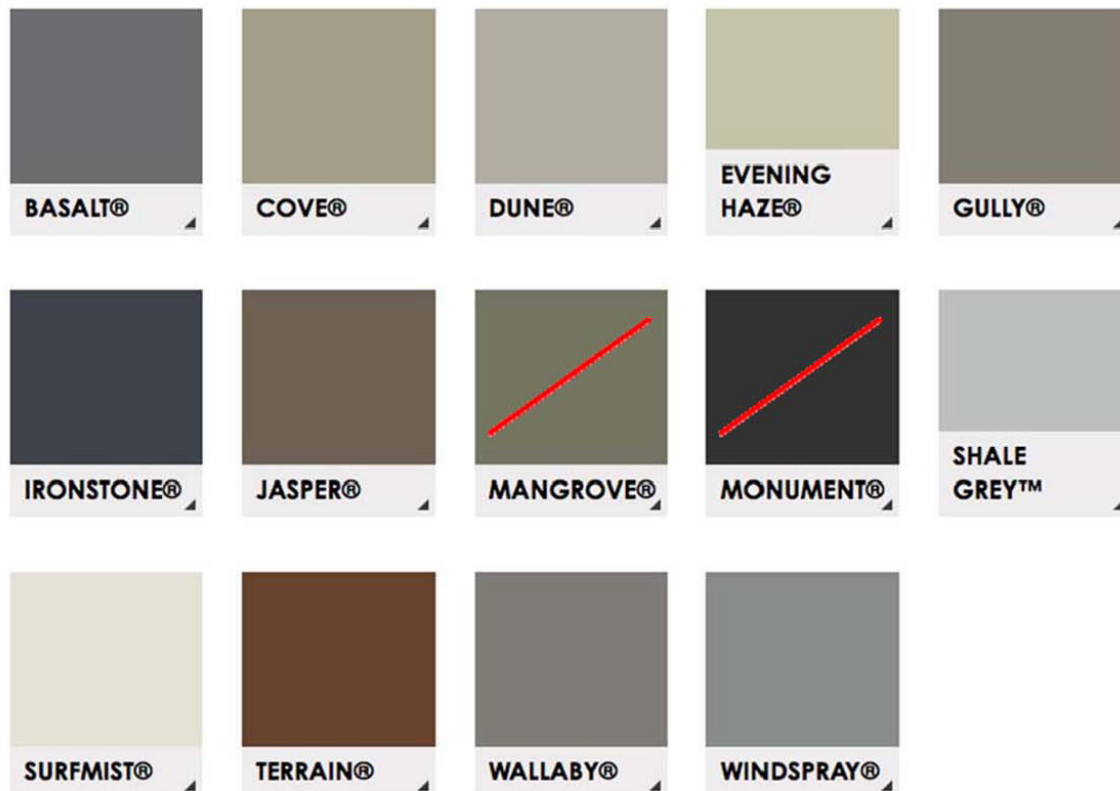


Garage door colours palette

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Design guidelines

For all garage doors facing the street timber style doors or the following metal Colorbond colours are permitted (red line indicates a colour is not permitted).

Contemporary colours



Classic colours

