

PRICE | LIST



Sales Enquiries | Tony Naughtin 0417 951 423

PRICE LIST

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24 February 2020

| Lot No | Street | Area (m²) | Frontage (m) | Details of Lot | Price |
|--------------------------------|------------------------|-----------|--------------|------------------------------------|-----------|
| Coda Stage 1 - Titled | | | | | |
| 1952 | Beethoven Street | 275 | 12.5m | 22m Deep | \$195,000 |
| 1972 | Mozart Lane | 198 | 7.5m | 26m Deep | \$150,000 |
| 1979 | Ghost Gum Boulevard | 220 | Cnr | 27m Deep | \$150,000 |
| 1986 | Baroque Way | 128 | 7.5m | 17m Deep Two-Storey Requirement | \$120,000 |
| Coda Stage 2 - Titles May 2020 | | | | | |
| 5002 | Ghost Gum Boulevard | 180 | 6m | Rear loaded 30m Deep | \$140,000 |
| 5003 | Ghost Gum Boulevard | 180 | 6m | Rear loaded 30m Deep | \$140,000 |
| 5004 | Ghost Gum Boulevard | 180 | 6m | Rear loaded 30m Deep | \$140,000 |
| 5005 | Ghost Gum Boulevard | 180 | 6m | Rear loaded 30m Deep | \$140,000 |
| 5015 | Joseph Banks Boulevard | 180 | 6m | 30m Deep 2 Storey Requirement | \$140,000 |
| 5016 | Joseph Banks Boulevard | 180 | 6m | 30m Deep 2 Storey Requirement | \$140,000 |
| 5017 | Joseph Banks Boulevard | 225 | 7.5m | 30m Deep 2 Storey Requirement | \$180,000 |
| 5021 | Symphony Road | 180 | 6m | Rear loaded 30m Deep | \$150,000 |
| 5023 | Symphony Road | 180 | 6m | Rear loaded 30m Deep | \$150,000 |
| 5024 | Symphony Road | 311 | 10.1m | Cnr Rear loaded 30m Deep | \$210,000 |
| 5025 | Formosa Way | 228 | 9.3m | Cnr 25m Deep lot | \$195,000 |
| 5026 | Formosa Way | 188 | 7.5m | 25m Deep lot | \$155,000 |
| 5027 | Formosa Way | 188 | 7.5m | 25m Deep lot | \$155,000 |
| 5030 | Formosa Way | 341 | 18.8m | 25m Deep lot | \$210,000 |
| 5031 | Strathmerton Road | 325 | 17.7m | 25m Deep lot | \$210,000 |
| 5034 | Symphony Road | 331 | 7.5m | Small frontage with Large rear lot | \$210,000 |
| 5037 | Symphony Road | 188 | 7.5m | 25m Deep lot | \$160,000 |
| Stage 49A - Titles May 2020 | | | | | |
| 2244 | Zebra Way | 207 | 9m | 15m Deep Corner Lot | \$140,000 |
| 4495 | Beautiful Road | 450 | 15m | 30m Deep | \$245,000 |
| 4498 | Beautiful Road | 375 | 12.5m | 30m Deep | \$218,000 |
| 4500 | Beautiful Road | 450 | 15m | 30m Deep | \$245,000 |
| Stage 50A - Titled | | | | | |
| 2233 | Ladybird Road | 235 | 15.36m | 15.32m Deep | \$155,000 |
| 2246 | Forever Boulevard | 237 | 17m | 15m Deep Corner Lot | \$145,000 |
| 4337 | Ladybird Road | 450 | 15m | 30m Deep | \$245,000 |
| 4371 | Ladybird Road | 450 | 15m | 30m Deep | \$245,000 |

Banksia Grove lots include Boundary Fencing* and Front Landscaping Packages* and access to state of the art fibre optic telecommunications network*

* Subject to Conditions

Use of land in Banksia Grove Development can be subject to compliance to City of Wanneroo Fire Management Plan & Quiet House Design

Prices may change without notice. Prices are GST inclusive (Margin Scheme).

Issue of Title dates are provisional and subject to alteration.

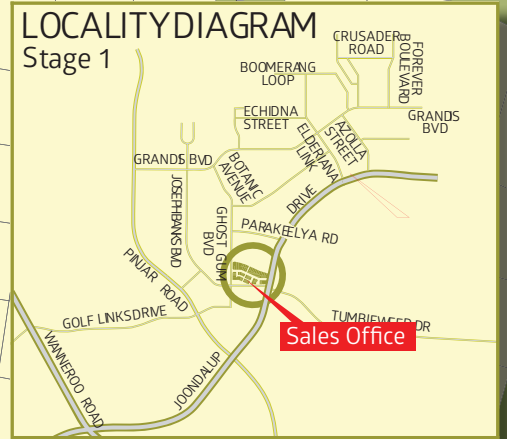
Disclaimer: Whilst every care has been taken with the preparation of these particulars which are believed to be correct, they are no way warranted by the selling agent or our clients either in whole or in part and should not be construed as forming part of any contract. Any intending purchasers are advised to make enquiries as they deem them necessary to satisfy themselves on matters in this respect.

All areas and dimensions are subject to final survey



Stage 1 Plan

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LEGEND

| | | | |
|----------------------|---|------------------------------------|--------------------------------|
| R30 Lots | Western Power Padmount Site | Brick Paving - Silver | Side Entry Pit |
| RMD60 Lots | Western Power Housing Con nection | Brick Paving - Charcoal | Drainage Grate |
| R80 Lots | Street Light & Street Light Road Widening | Footpaths | Drainage Manhole |
| Carpark Lots | Lot Level | Retaining Walls | BAL 19 |
| Previously Released | Road Levels at Design | Crossover | BAL 12.5 |
| Future Release | Batter Line | 1.225m Wide Power Easement | Housing Authority Retained Lot |
| Existing Residential | Restricted Access | Sewer Manhole & Housing Connection | |
| | | Bus Stop | |

Subject to Approvals and Survey.
All Dimensions and Areas are subject to survey. The particulars on this brochure are supplied for identification purposes only and shall not be taken as a representation in any aspect on the part of the vendor or it's agents. Authorities should be consulted when services are contained within lot boundaries as building restrictions may apply. All retaining walls, services and associated easements are shown exaggerated for legibility.

All Cadastral, Landscaping and Engineering is subject to change and final design specifications.

All Street Names are PRELIMINARY and subject to Approval and may change without warning. All Trees are Indicative Only.

Stage 2 Plan

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STAGE 49A | PLAN

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LEGEND

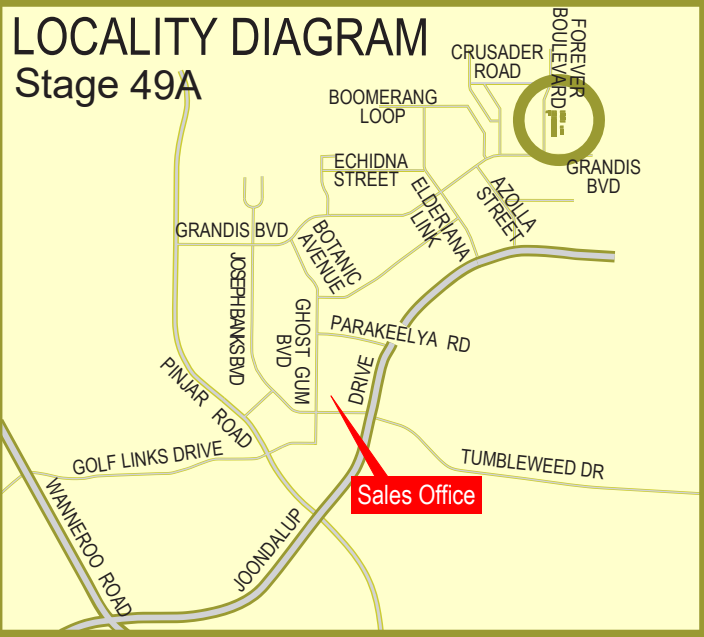
- R30 Lots
- R40 Lots
- Previously Released
- Future Release
- Housing Authority Retained Lot
- Sewer Manhole & Housing Connection
- Western Power Padmount Site
- Western Power Housing Connection
- Street Light & Street Light Road Widening
- Lot Level
- Road Levels at Design
- Side Entry Pit
- Drainage Grate
- Drainage Manhole
- Brick Paving - Silver
- Brick Paving - Charcoal
- Restricted Access
- Retaining Walls
- Footpaths
- Bus Stop

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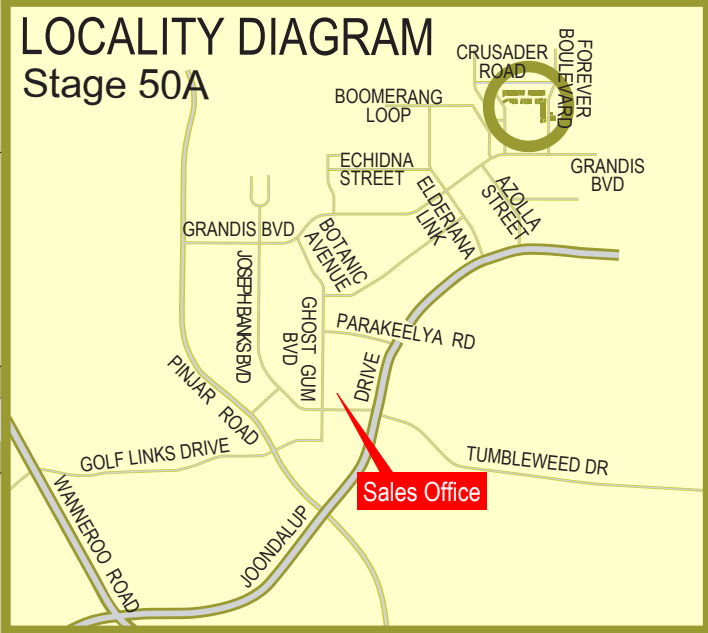


STAGE 50A | PLAN

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BANKSIA GROVE



LEGEND

- | | | | |
|----------------------|---|------------------------------------|--------------------|
| R30 Lots | Western Power Padmount Site | Brick Paving - Silver | Side Entry Pit |
| R40 Lots | Western Power Housing Connection | Brick Paving - Charcoal | Drainage Grate |
| Existing Residential | Street Light & Street Light Road Widening | Footpaths | Drainage Manhole |
| Future Residential | Lot Level | Retaining Walls | Quiet House Design |
| | Road Levels at Design | Crossover | |
| | Batter Line | Sewer Manhole & Housing Connection | |
| | Restricted Access | Housing Authority Retained Lot | |
| | | BAL 12.5 | |

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